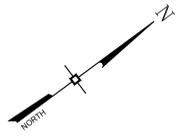


LEGEND

	BUILDING LINE		STORM WATER MANAGEMENT LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		ADJACENT PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING PROPERTY LINE		
	CURB LINE		EXISTING BUILDING LINE		
	GRAVEL DRIVEWAY LINE		EXISTING CURB LINE		
	EASEMENT LINE		EXISTING EDGE OF PAVEMENT LINE		
	BUILDING SETBACK LINES		LIMIT OF ACOE WETLAND		
	GUIDESAIL LINES		EXISTING CHAINLINK FENCE LINES		
	RETAINING WALL LINES		EXISTING STOCKADE FENCE LINES		
	PARKING STALL STRIPE		EXISTING WOODRAIL FENCE LINES		
	PARKING PAVEMENT SECTION		EXISTING MOW LINE		
	EDGE OF SIDEWALK LINES		EXISTING OVERHEAD UTILITY LINES		
	LIMIT OF WETLAND MITIGATION LINE				
	PROPERTY LINE				
	STRIPING LINE				



REPUTED OWNER:
FF & J PROPERTIES, LLC
TAX MAP ID: 28-1-64.2
DEED BOOK: 5980, PAGE: 305

REPUTED OWNER:
MYRUSKI
TAX MAP ID: 211-1-1
DEED BOOK: 1876, PAGE: 542
(FILED MAP 1511, LOT 21)

REPUTED OWNER:
PRICE
TAX MAP ID: 211-1-2
DEED BOOK: 1822, PAGE: 111
(FILED MAP 1511, LOT 20)

REPUTED OWNER:
IMBRIANI
TAX MAP ID: 211-1-3
DEED BOOK: 1845, PAGE: 337
(FILED MAP 1511, LOT 19)

REPUTED OWNER:
DEGRAW
TAX MAP ID: 211-1-4
DEED BOOK: 5289, PAGE: 107
(FILED MAP 1511, LOT 18 & 19)

REPUTED OWNER:
HIRN
TAX MAP ID: 211-1-5
DEED BOOK: 3807, PAGE: 212
(FILED MAP 1511, LOT 17)

REPUTED OWNER:
AYERS
TAX MAP ID: 211-1-6
DEED BOOK: 2299, PAGE: 562
(FILED MAP 1511, LOT 16)

REPUTED OWNER:
CODDINGTON
TAX MAP ID: 211-1-7
DEED BOOK: 11082, PAGE: 837
(FILED MAP 1511, LOT 15)

REPUTED OWNER:
OCANA
TAX MAP ID: 211-1-8
DEED BOOK: 14302, PAGE: 284
(FILED MAP 1511, LOT 14)

REPUTED OWNER:
RAAB
TAX MAP ID: 211-1-9.2
DEED BOOK: 13085, PAGE: 1032
(FILED MAP 1511, LOT 13)

REPUTED OWNER:
RANDALL
TAX MAP ID: 211-1-10
DEED BOOK: 14014, PAGE: 1248
(FILED MAP 1511, LOT 12)

REPUTED OWNER:
CONNORS
TAX MAP ID: 211-1-11
DEED BOOK: 13025, PAGE: 1295
(FILED MAP 1511, LOT 11)

REPUTED OWNER:
HOLBERT
TAX MAP ID: 211-1-12
DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

NOTES:
1. THE DESIGN OF THE PLYWALL SOUND BARRIER FENCE SHALL BE PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING INSPECTOR FOR A BUILDING PERMIT PRIOR TO CONSTRUCTION. SUCH DESIGN DRAWINGS OR SHOP DRAWINGS SHALL BEAR THE STAMP AND SIGNATURE OF SUCH ENGINEER AND SHALL BE SPECIFIC TO THE SITE. THE DESIGN SHALL BE SPECIFIC TO THE SOUND BARRIER SYSTEM TO BE UTILIZED AND SHALL CONSIDER ALL APPROPRIATE AND NECESSARY POSSIBLE LOADING AND SITE CONDITIONS RELATED TO THIS SPECIFIC PROJECT.



No.	DATE	DESCRIPTION
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3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/19/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2 OF 15
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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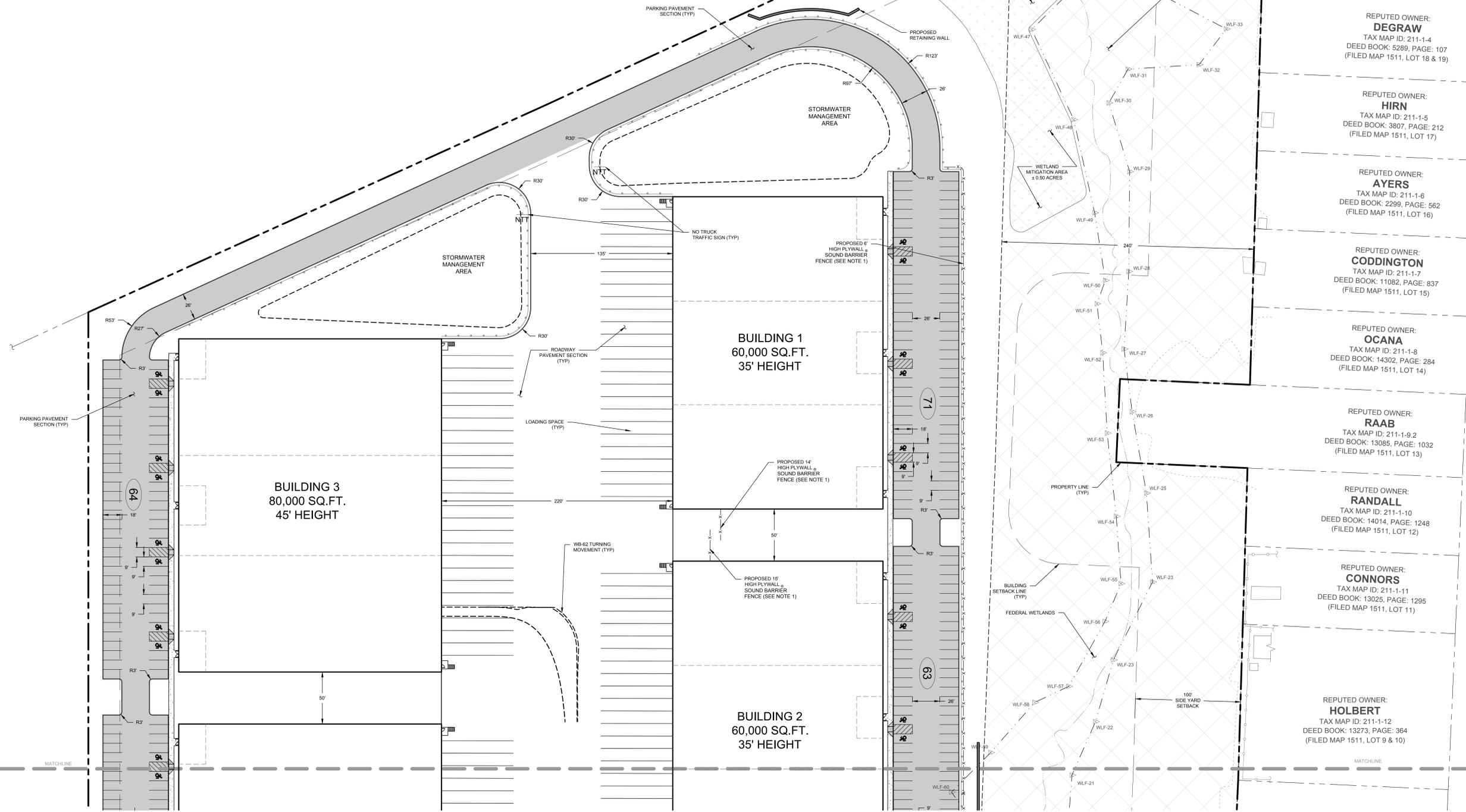
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71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
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SITE PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	7 - 04/19/2023	TAX LOT:	211-1-29.22

C-101



60,000 SQ.F.T.
35' HEIGHT

BUILDING 4
80,000 SQ.FT.
45' HEIGHT

DEED BOOK: 13273, PAGE: 364
(FILED MAP 1511, LOT 9 & 10)

REPUTED OWNER:
KOCH
TAX MAP ID: 211-1-13
DEED BOOK: 11557, PAGE: 633
(FILED MAP 1511, LOT 8)

REPUTED OWNER:
LADANYI
TAX MAP ID: 211-1-14
DEED BOOK: 13230, PAGE: 1591
(FILED MAP 1511, LOT 6 & 7)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-15
DEED BOOK: 11886, PAGE: 1833
(FILED MAP 1511, LOT 4)

REPUTED OWNER:
VAN ZANDT
TAX MAP ID: 211-1-16
DEED BOOK: 14209, PAGE: 1
(FILED MAP 1511, LOT 3)

REPUTED OWNER:
FOX
TAX MAP ID: 211-1-17
DEED BOOK: 11996, PAGE: 1
(FILED MAP 1511, LOT 2)

REPUTED OWNER:
PALENIK
TAX MAP ID: 211-1-24
DEED BOOK: 13022, PAGE: 1091

REPUTED OWNER:
EMBRIO
TAX MAP ID: 211-1-28-1
DEED BOOK: 3135, PAGE: 41

REPUTED OWNER:
MALLEY
TAX MAP ID: 211-1-27
DEED BOOK: 3763, PAGE: 228

REPUTED OWNER:
REALE
TAX MAP ID: 211-1-26
DEED BOOK: 4808, PAGE: 63

REPUTED OWNER:
BLUE SWARD HOLDING CORP
TAX MAP ID: 211-1-25
DEED BOOK: 14213, PAGE: 1488

NOTES:
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF 15
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

LEGEND	
	BUILDING LINE
	BUILDING ROOF LINE
	EDGE OF PAVEMENT LINE
	CURB LINE
	GRAVEL DRIVEWAY LINE
	EASEMENT LINE
	BUILDING SETBACK LINES
	GUIDERAIL LINES
	RETAINING WALL LINES
	PARKING STALL STRIPE
	PARKING PAVEMENT SECTION
	EDGE OF SIDEWALK LINES
	LIMIT OF WETLAND MITIGATION LINE
	PROPERTY LINE
	STRIPING LINE
	STORM WATER MANAGEMENT LINE
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING CURB LINE
	EXISTING EDGE OF PAVEMENT LINE
	LIMIT OF ACOE WETLAND
	EXISTING CHAINLINK FENCE LINES
	EXISTING STOCKADE FENCE LINES
	EXISTING WOODRAIL FENCE LINES
	EXISTING MOW LINE
	EXISTING OVERHEAD UTILITY LINES
	WETLAND FLAG LOCATION AND DESIGNATION
	UTILITY POLE

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SITE PLAN

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

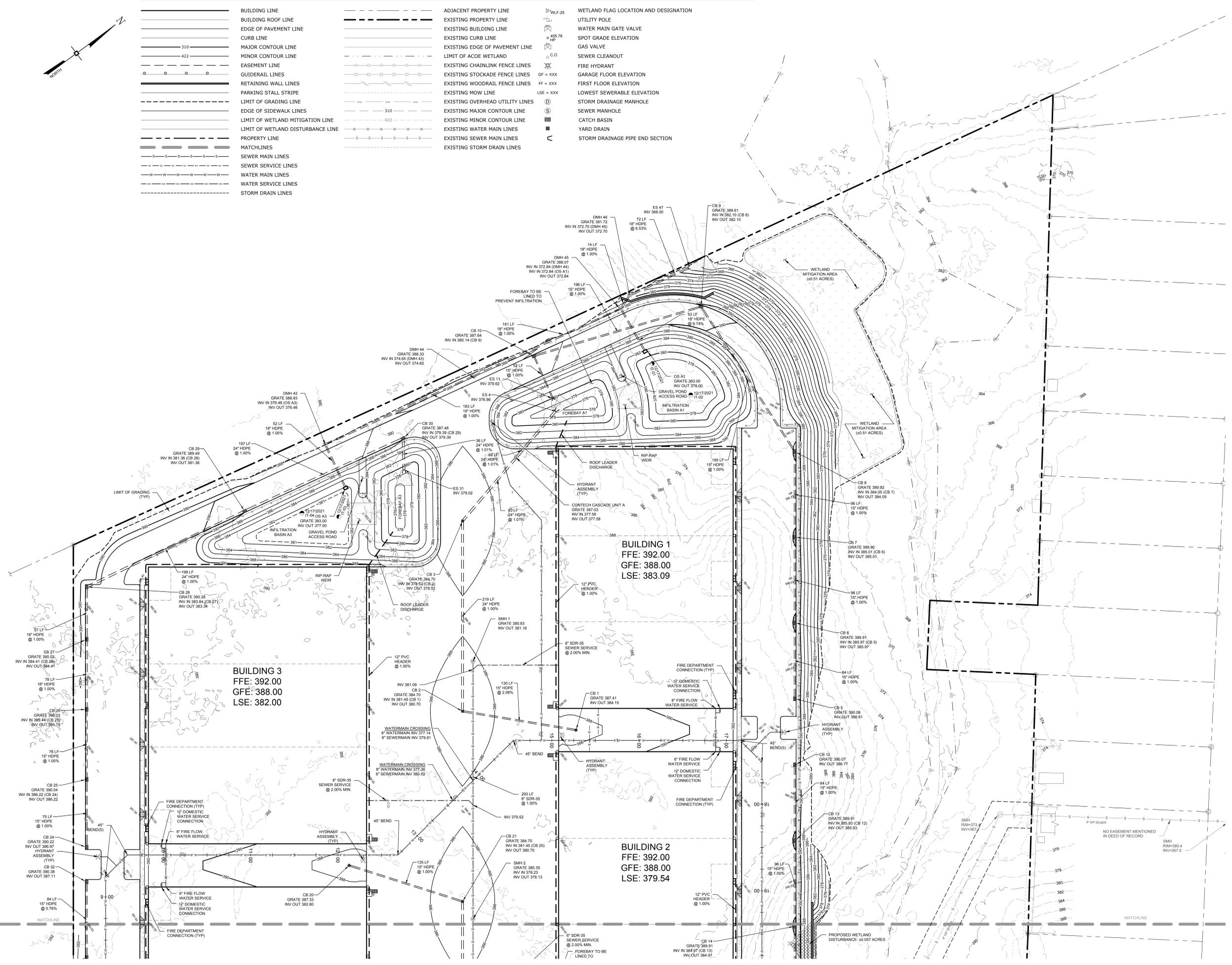
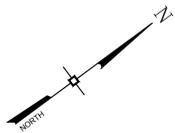
JOB #:	1281.01	DRAWN BY:	ZS
DATE:	12/10/2021	SCALE:	1" = 40'
REVISION:	7 - 04/19/2023	TAX LOT:	211-1-29-22

C-102

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LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	PROPERTY LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	MATCHLINES		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	SEWER MAIN LINES		EXISTING STORM DRAIN LINES		
	SEWER SERVICE LINES				
	WATER MAIN LINES				
	WATER SERVICE LINES				
	STORM DRAIN LINES				



NOTES:
 1. ALL ROOF LEADERS SHALL DISCHARGE TO THEIR CORRESPONDING POND FOREBAYS AS SHOWN ON THE PLANS.

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<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	4 OF 15
<input type="checkbox"/>	OCODH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	OCODH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER	N/A OF N/A
<input type="checkbox"/>	FOR BID	N/A OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A OF N/A

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 NEW YORK LICENSE # 071701

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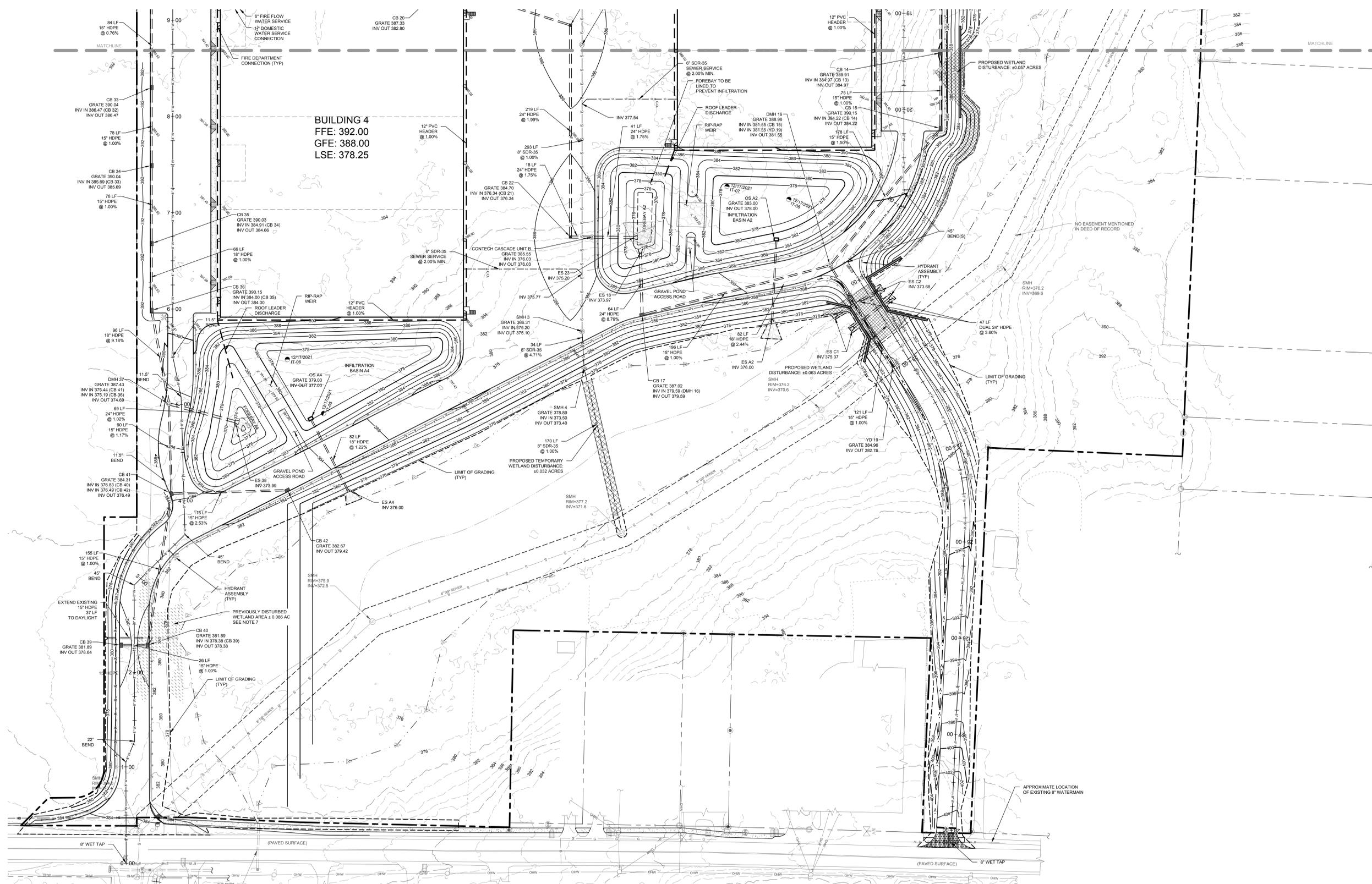
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GRADING, DRAINAGE & UTILITY PLAN

KSH ROUTE 211 DEVELOPMENT
 UNION STREET
 VILLAGE OF MONTGOMERY
 ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
 DATE: 12/10/2021 SCALE: 1" = 40'
 REVISION: 7 - 04/19/2023 TAX LOT: 211-1-29-22

C-103



BUILDING 4
FFE: 392.00
GFE: 388.00
LSE: 378.25



NOTES:
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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	5 OF 15	
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER	N/A OF N/A	
<input type="checkbox"/> FOR BID	N/A OF N/A	
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A	

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LEGEND

	BUILDING LINE		ADJACENT PROPERTY LINE		WETLAND FLAG LOCATION AND DESIGNATION
	BUILDING ROOF LINE		EXISTING PROPERTY LINE		UTILITY POLE
	EDGE OF PAVEMENT LINE		EXISTING BUILDING LINE		WATER MAIN GATE VALVE
	CURB LINE		EXISTING CURB LINE		SPOT GRADE ELEVATION
	MAJOR CONTOUR LINE		EXISTING EDGE OF PAVEMENT LINE		GAS VALVE
	MINOR CONTOUR LINE		LIMIT OF ACOE WETLAND		SEWER CLEANOUT
	EASEMENT LINE		EXISTING CHAINLINK FENCE LINES		FIRE HYDRANT
	GUIDERAIL LINES		EXISTING STOCKADE FENCE LINES		GARAGE FLOOR ELEVATION
	RETAINING WALL LINES		EXISTING WOODRAIL FENCE LINES		FIRST FLOOR ELEVATION
	PARKING STALL STRIPE		EXISTING MOW LINE		LOWEST SEWERABLE ELEVATION
	LIMIT OF GRADING LINE		EXISTING OVERHEAD UTILITY LINES		STORM DRAINAGE MANHOLE
	EDGE OF SIDEWALK LINES		EXISTING MAJOR CONTOUR LINE		SEWER MANHOLE
	LIMIT OF WETLAND MITIGATION LINE		EXISTING MINOR CONTOUR LINE		CATCH BASIN
	LIMIT OF WETLAND DISTURBANCE LINE		EXISTING WATER MAIN LINES		YARD DRAIN
	PROPERTY LINE		EXISTING SEWER MAIN LINES		STORM DRAINAGE PIPE END SECTION
	MATCHLINES		EXISTING STORM DRAIN LINES		
	SEWER MAIN LINES		WATER SERVICE LINES		
	SEWER SERVICE LINES		STORM DRAIN LINES		
	WATER MAIN LINES				

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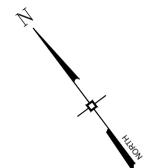
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RETENTION/DETENTION POND PLANTINGS:

- DRAW DOWN ZONE/ EMERGENT AREA:
NORTHEAST WETLAND NATIVE WILDOFLOWER MIX
- PERMANENT GRASS MIX
- NORTHEAST WETLAND GRASS SEED MIX

PLANTS LIST							
SYMBOL	TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
	DECIDUOUS TREES	Ao	15	Acer Rubrum "October Glory"	October Glory Red Maple	3" - 3-1/2" c	B4B
		Lp	5	Platanus x Acerifolia	London Planetree	3" - 3-1/2" c	B4B
		Pr	11	Prunus Subhirtella "Autumnalis"	Higan Cherry	2" - 2-1/2" c	B4B
		Pe	18	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2" - 2-1/2" c	B4B
		Qp	24	Quercus Palustris	Pin Oak	3" - 3-1/2" c	B4B
		Tc	6	Tilia Cordata "Greenspire"	Greenspire Linden	3" - 3-1/2" c	B4B
	EVERGREEN TREES	Ns	34	Picea Abies	Norway Spruce	1" - 8" hgt	B4B
		Ts	54	Thuja Standishii x Plicata "Green Giant"	Green Giant Arborvitae	6" - 1" hgt	B4B
	EVERGREEN SHRUBS	Ig	34	Ilex Gabra	Inkberry Holly	34" - 36"	B4B
		Vr	55	Viburnum Rhytidophyllum	Leather Leaf Viburnum	34" - 36"	B4B
	DECIDUOUS SHRUBS	Aa	29	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B4B
		Sd	22	Cornus Amomum	Silky Dogwood	30" - 34"	Container



PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSEMED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
 - 60% KENTUCKY BLUE GRASS
 - 20% CHEWINGS FESCUE
 - 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1



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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	11 OF 13
<input type="checkbox"/> OCCOCH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCCOCH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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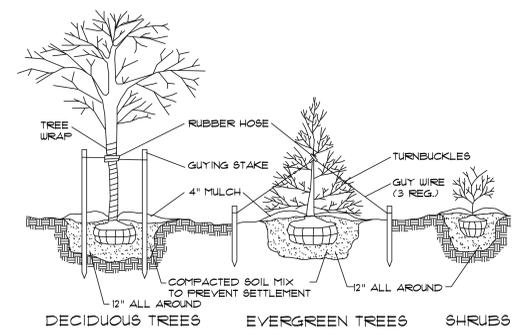
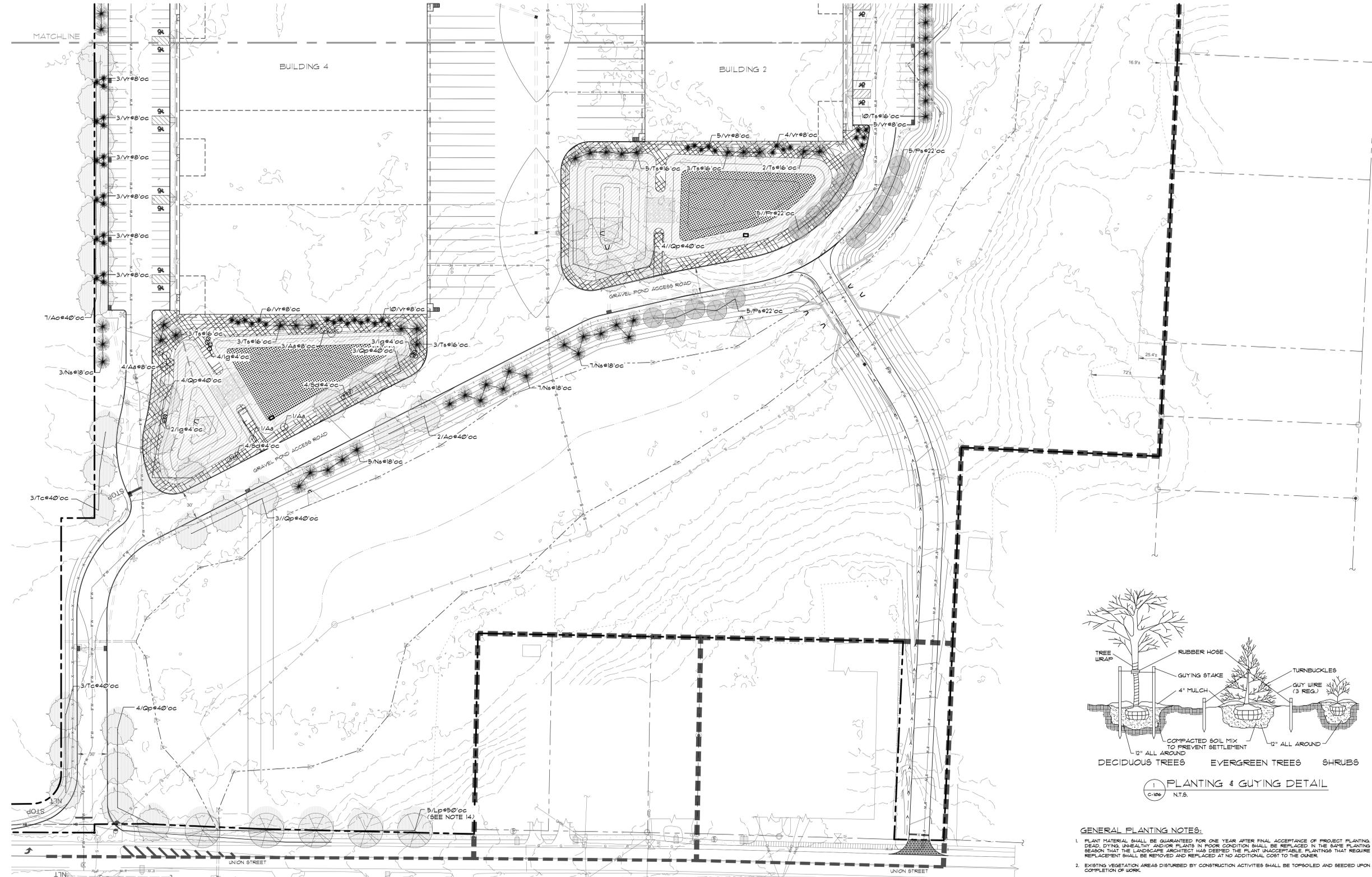
LANDSCAPE PLAN & DETAILS

KSH ROUTE 211 DEVELOPMENT
UNION STREET
VILLAGE OF MONTGOMERY
ORANGE COUNTY, NEW YORK

JOB #: 1281.01 DRAWN BY: ZS
DATE: 12/10/2021 SCALE: 1" = 40'
REVISION: 7 - 04/19/2023 TAX LOT: 211-1-29.22

C-110

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1 PLANTING & GUYING DETAIL
 C-106 N.T.S.

GENERAL PLANTING NOTES:

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND BEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY SHRUBS AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- PLANT UP TO FIVE (5) LONDON PLANETREE ALONG UNION AVE ROAD TO SUPPLEMENT EXISTING VEGETATION. LOCATIONS TO BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT AND VILLAGE ENGINEER IN THE FIELD.

No.	DATE	DESCRIPTION
1	01/14/22	REVISED PER PB COMMENTS 12/15/2021
2	05/13/22	REVISED LAYOUT PER TRAFFIC STUDY
3	06/10/22	REVISED PER PB COMMENTS
4	09/16/22	REVISED PER PB COMMENTS
5	12/02/22	REVISED PER PB COMMENTS 09/23/2022
6	03/10/23	REVISED PER PB & PUBLIC COMMENTS
7	04/19/23	REVISED PER PB & PUBLIC COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/19/2023
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	12 OF 13
<input type="checkbox"/> COCDOM REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> COCDOM WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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